



CITY OF HAYWARD

AGENDA REPORT

Meeting Date 07/24/03

Agenda Item 1

TO: Planning Commission

FROM: Richard Patenaude, Principal Planner

SUBJECT: Variance Application No. PL-2003-0276 – Richard Camponuevo (Applicant) / Manuel Garcia (Owner) – Reduction of Side Yard from 5 Feet to 3 Feet 6 Inches to Allow Expansion of Garage

The Property Is Located at 23681 Ronald Lane in a Single-Family Residential (RS) District

RECOMMENDATION:

Staff recommends that the Planning Commission:

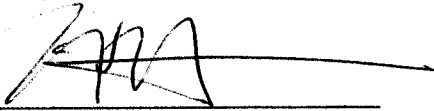
1. Find that the proposed project is Categorically Exempt from the California Environmental Quality Act (CEQA) guidelines, Section 15305, Minor Alterations in Land Use Limitations; and
2. Approve the variance request allowing the side yard reduction for the garage extension, subject to the attached findings and conditions of approval.

DISCUSSION:

The property owner recently applied for a building permit for an addition to his single-family residence, which included a new bedroom. The residence contains a one-car garage. The addition of the bedroom requires that a two-car garage be provided. The owner proposes that an extension be made to the rear of the garage to create a tandem two-car garage. The extension would maintain the existing substandard setback of 3'6". The owner subsequently filed an application for the setback variance.

The Planning Director denied the application on June 25, 2003. On July 10, 2003, the Planning Commission recommended approval of the variance and directed staff to bring back findings and conditions supporting the recommendation (see Attachments B and C). The Commission stated that the proposed setback is not a special privilege as several lots in the neighborhood were developed with a garage setback of 3'6", and that flexibility should be provided to allow improvements to older homes.

Prepared by:



Richard E. Patenaude, AICP
Principal Planner

Recommended by:



Dyana Anderly, AICP
Planning Manager

Attachments:

- A. Area Map
- B. Findings for Approval
- C. Conditions of Approval
- D. Planning Commission Agenda Report/Minutes – 7/10/03
Plan



**CITY OF HAYWARD
PLANNING DIVISION
VARIANCE
July 24, 2003**

VARIANCE NO. PL-2003-0276 – Richard Camponuevo (Applicant) / Manuel Garcia (Owner)– Authorizing a reduction of the side yard setback from 5'-0" to 3'-6" to allow the expansion of the garage to align with the exterior side wall of the existing garage which is setback 3'-6" from the side property line and to allow a 10'-0" garage width where a 11'-0" width is required.

The site is located at 23681 Ronald Lane in the Single Family Residential (RS) District (APN 431 0080 131).

FINDINGS FOR APPROVAL

- A. Approval of PL 2003-0276, as conditioned, will have no significant impact on the environment, cumulative or otherwise, and the project reflects the City's independent judgment and is exempt from CEQA review under Section 15305, Class 5a, Minor Alterations in Land Use Limitations.
- B. There are special circumstances applicable to the property in that several homes in this neighborhood are setback 3'-6" from the side property line on one side of the house and 5'-0" on the other side. Furthermore, setting the garage addition 5'-0" from the side property line to comply with the side yard setback requirement would constrict a portion of the garage width to 8'-0" and offset the parking space whereas allowing the garage addition to align with the existing exterior side garage wall, the tandem parking spaces will be straight and allow for a safer maneuvering out of the garage.
- C. Strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other properties. Several homes in the vicinity of the proposed project have 3'-6" side setbacks.
- D. The variance does not constitute a grant of a special privilege inconsistent with the limitations upon other properties in the vicinity and zoning district in which the property is situated in that the several homes in this neighborhood typically have 3'-6" setback.

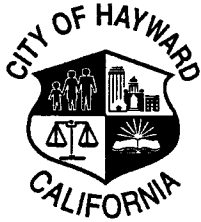
**CITY OF HAYWARD
PLANNING DIVISION
VARIANCE
July 10, 2003**

VARIANCE NO. PL-2003-0276 – Richard Camponuevo (Applicant) / Manuel Garcia (Owner)– Authorizing a reduction of the side yard setback from 5'-0" to 3'-6" to allow the expansion of the garage to align with the exterior side wall of the existing garage which is setback 3'-6" from the side property line and to allow a 10'-0" garage width where a 11'-0" width is required.

The site is located at 23681 Ronald Lane in the Single Family Residential (RS) District (APN 431 0080 131).

CONDITIONS OF APPROVAL

1. The Variance Application No. PL-2003-0276, to allow a 3'-6" side yard setback for a garage addition when a 5'-0" side setback is required, is approved by the Planning Commission on July 10, 2003 subject to these conditions of approval and the plans, labeled Exhibit "A".
2. This approval is void one year after the effective date of approval unless a building permit application has been submitted and accepted for processing by the Building Official. Any modifications to the approved site plan or conditions shall require prior review and approval from the Director of Community and Economic Development/Planning Director.
3. The side yard setback for the exterior garage wall shall not be less than 3'-6" from the side property line and shall align with the existing exterior garage wall shown on Exhibit "A".
4. Any broken sidewalk along the property frontage that creates tripping hazard shall be removed and replaced.
5. Prior to final inspection/occupancy of the addition, all improvements and conditions of approval shall be completed to the satisfaction of the Planning Director.
6. A 15-gallon street tree (type subject to approval by the City Landscape Architect) shall be planted between the sidewalk and the curb per the City tree planting detail SD-122. Street tree shall be planted a minimum of 5-feet from any utility.



CITY OF HAYWARD AGENDA REPORT

Meeting Date 7/10/03

Agenda Item 2

TO: Planning Commission

FROM: Carl T. Emura, Associate Planner

SUBJECT: Appeal of Planning Director's Denial of Variance No. PL-2003-0276 – Richard Camponuevo (Appellant/Applicant)/ Manual Garcia (Owner) – Request to Allow a 3'-6" Side Yard Setback Where a 5' Side Yard Setback Is Required and a Garage Width of 10' Where 11' Is Required

The Property is Located at 23681 Ronald Lane in a Single-Family Residential (RS) District

RECOMMENDATION:

Staff recommends that the Planning Commission:

1. Find that the proposed project is Categorically Exempt from the California Environmental Quality Act (CEQA) guidelines, Section 15305, Class 5 (a), Minor Alteration in Land Use Limitations.
2. Uphold the Planning Director's Denial.

DISCUSSION:

The property is a typical single-family residential lot, 50 feet wide by 100 feet deep. The house has a flat roof with four rooms, a dining room/kitchen, living room and two bedrooms. A 10-foot-wide attached single-car garage is located on the west side of the house and is set back 3'-6" from the west property line.

The applicant would like to significantly improve the appearance and size of his home by adding a porch, a family room, a master bedroom and a bathroom, and changing the flat roof to a pitched roof. In order to add an additional bedroom or increase the square footage by 50 percent, a two-car garage is required. The City Council enacted this requirement in order to help alleviate excessive parking in Hayward's neighborhoods. However, the applicant is not able create a two-car garage and meet side yard setback requirements and requirements for interior garage dimensions.

The applicant is seeking a variance to extend the single-car garage toward the rear of the property to provide a tandem 2-car garage, maintaining the 3'-6" side setback where a 5-foot side yard setback is required. A variance is also required for the interior width of the

garage, which is only 10 feet wide at the front and would be the required 11-foot width only at rear 7 feet (excludes area designated for washer and dryer).

At the time the home was built in 1951, many of the homes had garages that were 3'6" from the side property lines; however, living space was located at least 5 feet from the side property lines and homes were typically often 10 feet apart. Currently, side yard setback requirements for 50-foot-wide lots are at least 5 feet. For subject property, the side yard setbacks are 3'-6" for the garage and 5 feet for the living space, and the distance between the adjacent house and garage is 10 feet.

With regard to the requested side yard variance to 3'6", there has been no precedent in the area for allowing additional living space to be added that is only 3'6" from a side property line. In 1972 the City Council allowed a Ronald Lane garage conversion only 4'2" from the side property line. Also, several area homeowners took advantage of the City's illegal garage conversion amnesty program, but none of these conversions included extending the width or depth of the garages. With respect to variances to garage width requirements, outside of the downtown core where maximizing density is a goal, no variances have been granted to reduce the required 11-foot width of a single-car garage.

Because the Planning Director determined there are no special circumstances applicable to the property and no other property owner in the vicinity has been granted a side yard and garage width reduction, the application was denied on June 25, 2003.

The appellant appealed the Planning Director's decision, indicating it is not possible to construct a garage that meets both setback and garage width requirements. In order to construct a two-car garage that meets all requirements, the interior of the house would have to be significantly modified, including relocating the kitchen and a bedroom.

If the Planning Commission is supportive of the variance, appropriate findings and conditions of approval must be adopted.

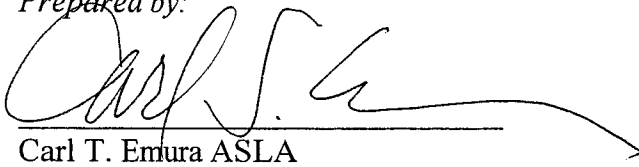
Environmental Review:

The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) guidelines, pursuant to Section 15305, Class 5 (a), Minor Alterations of Land Use Limitations.

Public Notice:

On May 16, 2003, a Notice of Public Hearing was mailed to every property owner and occupant within 300 feet of the subject site, as noted on the latest assessor's records and the Santa Clara Neighborhood Task Force. Staff received one call supporting the changing of the roof from a flat to a pitched roof and had no objections to the variance. No calls were received opposing the variance.

Prepared by:

A handwritten signature in cursive script, appearing to read 'Carl T. Emura', written over a horizontal line.

Carl T. Emura ASLA
Associate Planner

Recommended by:

A handwritten signature in cursive script, appearing to read 'Dyana Anderly', written over a horizontal line.

Dyana Anderly, AICP
Planning Manager

Attachments:

- A. Area Map
- B. Plan/Elevation
- C. Appeal Letter dated 6/25/03
- D. Findings for Denial

She noted that there are other people in the area who have bigger fences, which sounds as though those were not done with permits. She said it would set a precedent for the Commission to approve this. She added that it is not the appearance of the fence nor is it a safety issue since those streets are unsafe anyway. As to the issue of the height, if this were approved, the Commission would be accepting 7 feet. She said they did not want to do that. Four foot is what is established. She noted that OHI did not want it to be precedent setting and it would be.

Commissioner McKillop said as a former resident, she appreciated the support the residents have shown. She added that the Old Highlands is a wonderful place to live. She commented that beauty not the issue, she understands that the residents do not want to be messed with. She agreed that it is unfortunate that the Commission could not find a compelling reason to support the variance. She noted that she would love to see some variation in the compliance.

Commissioner Thnay said he had mixed feelings about the whole issue. It seems like the City of Hayward traffic engineers conclude safety is not the issue. Although the special circumstances do not seem overwhelming, not everything along the fence is 7 feet and there is a gradation. Compared to the old fence and oleanders, the neighborhood supports this and it is positive, special circumstances should warrant the variance. He added that he did not think everyone would put up a similar fence. The wrought iron is an improvement, and since it is only 3 feet, that's a compromise.

Commissioner Halliday noted that both Commissioners Sacks and McKillop made good points. She added that she did not see safety concerns as an issue either. She did, however, encourage OHI to work with the City to make it safer to walk up there. She also agreed that the variance cannot be supported. She commented that fences seem to be a big issue these days. When the fence is in the front yard, they should stick to the rules. As an aside to Mr. Dimic she said she was sorry he did this without a permit, since it is a nice design but not legal. It does not seem out of character with the neighborhood. She said she would support the motion.

Commissioner Bogue stated his belief that this was precedent setting. As to the height of fence, although the wrought iron is only 3 feet, the maximum height is 4 feet. He said he could not support the variance and would support the motion.

The motion passed 6:1, with Commissioner Thnay voting "No."

- 2. Appeal of Planning Director's Denial of Variance No. PL-2003-0276 – Richard Camponuevo (Appellant/Applicant)/ Manual Garcia (Owner) – To Allow a 3' 6" Side Yard Setback Where a 5' Side Yard Setback is Required and a Garage Width of 10' Where 11' is Required – The Property is Located at 23681 Ronald Lane**

Principal Planner Patenaude explained that the property owner is applying to make an addition to his home. To add bedrooms onto a home, it has to have a two-car garage. The garage addition would push the garage into the back yard, as well as maintain the 3-foot 6-inch side yard setback. There is 10 feet between the garage and the house on the adjacent property. They would also like to change the appearance of the house from a flattop to a hip roof. Although the thirty-six inch setback is not typical in that neighborhood, there are two other examples of them on Ronald Lane. He explained that, in those cases, there is a seven-foot separation between the houses, rather than the 10-foot. However, staff has determined that findings to reduce the setback cannot be made. It is a standard lot and there is nothing unusual regarding the shape or topography. By



not granting the variance, the appellant would have to look at other options to provide a two-car garage.

Commissioner Halliday asked when these houses were built, were they in the City of Hayward.

Principal Planner Patenaude said they seem not to be; as a result, they must have been originally approved by the County with the reduced setback.

Commissioner Fraas asked how other neighbors addressed this issue.

Principal Planner Patenaude explained that there might have been other opportunities to do a side-by-side garage. He added that some in the neighborhood have garage conversions.

Commissioner Sacks noted the staff comment on having trouble with findings for denial and asked how it would change the appearance of the home.

Principal Planner Patenaude explained that it would not since the garage would be tandem parking. It would retain the setback distance all the way back.

Commissioner McKillop asked about other homes in the neighborhood and what changes they might have made.

Principal Planner Patenaude said modifications of rooflines requests are common. He had not checked into the additional rooms.

Commissioner McKillop commented that it looked as though most of the homes are standard.

Chairperson Zermeno asked about the City requirement of 11-foot wide garages.

Principal Planner Patenaude said the City of Hayward does accept 10 feet for existing single-garages, which is an administrative variance.

The public hearing opened at 8:57 p.m.

Richard Camponuevo, the architect, said they started doing this addition, although it is not a 50 percent increase to the property, which is presently 1500 square feet. He said the addition would add 230 square feet. The applicant presently has a one-car garage and by allowing an extension of 7-feet, it would not interrupt the daylight or neighbors. He said they tried different variations to fit a side-by-side garage into the space but it was too expensive. He asked for the members to allow them to continue the garage into the back. He explained that he was speaking for the owner who does not speak English well.

Principal Planner Patenaude explained that there was no problem with addition itself. It would provide a nice roof and upgrade the house,

Commissioner Halliday asked whether there are windows further back on the neighboring house where the garage would be.

Principal Planner Patenaude said no there were none.

The public hearing was closed at 9:02 p.m.

Commissioner Halliday **moved**, seconded by Commissioner Sacks, to approved the variance. She also noted her appreciation of remodeling these older houses. She said she could not understand how staff could not make the findings for the variance since denying it would deprive the owner of the benefits of others in the area. These homes were built with these setbacks. She suggested a possible lot line adjustment in this area and had no problem granting the variance.

Commissioner McKillop agreed to support the motion. She said she liked the idea of bringing these small homes into the 21st century.

Principal Planner Patenaude explained that staff would need to bring back findings and conditions if you approve. He noted they might not be able to do it until September 11th, after the August recess.

Commissioner Halliday added to her motion to direct staff to bring back findings and conditions for approval. Commissioner Sacks agreed.

Commissioner Bogue expressed concern about allowing new construction within the side yard setback.

Principal Planner Patenaude said he believed it could be okay. They would add upgrading construction within the conditions of approval, if approved.

Commissioner Bogue said that it would not be fair as well as inappropriate to take someone else's land for spacing. He added that theoretically the next-door building could build out, so as a result he could not support the motion.

Commissioner Thnay explained his respect for staff, which is to uphold the letter of the law but noted that as a Commission their role is to see the shades of gray. He said he would trust that this could be worked out.

Commissioner Halliday said in response to Commissioner Bogue that the setback with the existing garage was meeting the City requirement to expand the garage. She added that if the older neighborhoods deteriorate, it could create serious problems for our neighborhoods in the future.

Commissioner Bogue responded that this homeowner is not being deprived of anything other homeowners have received. He said he looked at the approved designs.

Chairperson Zermeno said he would support the motions since older neighborhoods need improvement.



The motion passed 5:1:1, with Commissioner Bogue voting No, and Commissioner Fraas abstaining.

3. **Variance Application No. PL-2003-0219 – Roberto Lomeli (Applicant/Owner) – To Retain a 350 Square-Foot Carport Addition that Would Exceed 50 Percent of the Residence Area – The Property is Located at 956 Folsom Avenue**

Associate Planner Camire described the property and asked for approval for the variance, with the findings and conditions.

The public hearing opened and closed at 9:15 p.m. with no speakers on the item.

Commissioner Sacks **moved**, seconded by Commissioner Halliday, to approve the staff recommendation. She then thanked staff for their work in this area.

The motion passed, 6:0:1, with Commissioner Fraas abstaining.

4. **Findings and Conditions of Approval for Site Plan Review No. PL-2003-0012 – James Jensen (Applicant/Owner) – Request to Construct a Single-Family Dwelling with a Two-Car Garage that Exceeds 50 Percent of the Frontage of the Dwelling – The Property is Located at 24431 Second Street**

Principal Planner Patenaude presented an overview of the previous presentation and the PC's finding that the garage was appropriate. He explained the conditions of approval most of which were discussed at the last meeting.

The public hearing was opened and closed at 9:19 p.m. with no public input on the item.

Commissioner Sacks **moved**, seconded by Commissioner Thnay, to accept the findings and conditions. She said she was happy to have found it appropriate to accept the design.

The motion passed, 6:0:1, with Commissioner Fraas abstaining.

ADDITIONAL MATTERS

5. Oral Report on Planning and Zoning Matters

There were no oral reports.

5. Commissioners' Announcements, Referrals

Commissioner Bogue discussed information he had received on two workshops to be held in Oakland. He had made copies to pass out to the other Commissioners.

Commissioner Sacks commented on an article she had passed along, from the San Jose Mercury News. She described it as a fun read.

Commissioner Halliday added her thanks to Commissioner Bogue for a great year as Chairperson.

APPROVAL OF MINUTES

- June 12, 2003 APPROVED
- June 19, 2003 APPROVED

ADJOURNMENT

Chairperson Zermeño adjourned the meeting to a worksession in room 2a at 9:25 p.m.

- A. study session to consider revisions to multiple-family residential design guidelines (continued from may 29, 2003).

APPROVED:

Christopher Thnay, Secretary
Planning Commission

ATTEST:

Edith Looney
Commission Secretary

GENERAL NOTES

The structural aspect of these plans prepared by RoMoCo Designers Group are intended for use only on the property for which they were designed and shall remain the property of RoMoCo Designers Group. These drawings are not intended to be comprehensive and it shall be the responsibility of the contractor to notify the owner of any necessary clarifications or modifications. All information pertaining to the site shall remain the owner's responsibility. This information shall include topographical, dead restrictions, easements, site survey, street and utility improvements, sales report, grading and excavation, and all related data. These documents have been prepared on the information available to RoMoCo Designers Group.

All works connected with this project shall be done in a professional manner in accordance with the fractionally or legally defined "best occupied practice" of the trade involved. Additionally, all work shall comply with applicable codes and trade standards which govern each phase of work including but not limited to the 2001 Uniform Building Code & 2001 California Building Code (CBC), 2001 California Mechanical Code (CMC), 2001 California Fire Code (CFC), 2001 National Electric Code (NEC), American Concrete Institute (ACI), and applicable Local Codes.

The owner or contractor shall be responsible for notifying RoMoCo Designers Group of any unusual or unforeseen structural conditions, discrepancies, or changes from the plans before proceeding with the work involved, otherwise they will be considered adequate for proper completion of the project. The contractor shall be responsible for verifying field measurements before ordering materials and prefabricated items. Adequate supervision and periodic inspection during the construction phase are recommended. The owner shall be responsible to ensure that this inspection and supervision are provided by qualified persons. These plans shall not be considered complete and ready for construction until a building permit has been issued. It is the responsibility of the contractor and all subcontractors to check and verify all dimensions and discrepancies prior to commencing their work.

No guarantee for quality of construction is implied or intended by these documents, and contractor shall assume full responsibility for any or all construction deficiencies. The general contractor shall hold harmless, indemnify and defend RoMoCo Designers Group from any action initiated by the initial owner or any subsequent owners for construction deficiencies, modifications or such conditions, which may be beyond the control of RoMoCo Designers Group.

Examination of site: The contractor shall thoroughly examine the site and satisfy himself as to the conditions under which the works is to be performed. The contractor shall verify at the site all grades, measurements and conditions affecting his work or shall be responsible for correctness of it.

GENERAL

- These notes are general and apply to entire project except where there are specific indications to the contrary.
- Construction shall meet the requirements of the latest edition (2001) of the Uniform Building Code & 2001 California Building Code. The above shall govern except where other applicable codes or the following notes are more restrictive.
- The contractor prior to construction shall certify structural dimensions controlled by or related to mechanical and/or electrical equipment.
- Structures have been designed for operational loads on completed structures. During construction, structures and parts of structures shall be protected and/or supported by bracing and shoring wherever excessive loading may occur.
- The contractor shall be responsible for job site safety. The review of the construction by RoMoCo personnel of any site to determine conformance with the plans and specifications. It does not encompass safety procedures, general company procedures, contracting scheduling or operations.
- It is the responsibility of the Contractor and Subcontractor to notify the owner and the Engineer of any conditions to be found in the field to be different from those shown on the plans, before completion of the project.
- Lay out all structural work by referring to dimensions & not scale structural drawings; work detail dimensions from controlling surface points and actual material dimensions.
- Larger scale details take precedence over smaller scale details.
- Verify type and size of metal work against appropriate member size before ordering hardware.
- Hardware (Simpson "Strong-Tie" Hardware or similar construction of equal UBC value is acceptable.
- For hardware use the maximum size bolts and nuts specified in manufacturer's catalog. Nail all holes use special mono-length nails supplied by manufacturer where common nails will exceed the width of the framing member.

CONCRETE

- All concrete work shall conform to the requirements of the latest edition of the ACI Building Code (ACI-318) and the 2001 California Building Code (CBC). Detailing, fabrication, and erection of reinforcing bars shall be in accordance with the latest edition of the Manual of Standard Practice (ACI-315).
- Aggregate for the concrete mix shall conform to (ASTM-C33), the maximum size aggregate shall be 3/8" inch, and that shall conform to ASTM-C-115, Type I or II.
- Concrete shall have an ultimate compressive strength of 2500 psi (28-day strength) with 4" slump (tolerance 1").
- Reinforcing steel shall be deformed bars (ASTM-A615) Grade 40, except that No.8 or larger bars shall be grade 60. Welded wire fabric shall be per (ASTM-A185).
- Reinforcing steel in continuous footing and grade beams shall be securely fastened in place horizontally and vertically prior to pouring. Grade 60 (F60) psi.
- Use 3/8" x 40 diameter splices. Hook bar 24 diameters at corners.
- Band down top bar at ends of footings.
- Provide a minimum of two anchor bolts per all place, with one within 12" of each end.
- Concrete footing shall be poured against undisturbed earth or earth that has been compacted and re-excavated for footings.
- Reinforcing steel as indicated by the thickness of concrete shown on the plans. Where not otherwise shown, the thickness of concrete over the reinforcement shall be as follows:
 - Where concrete is deposited against ground without the use of forms, not less than 3".
 - Where concrete may be exposed to ground but is placed in forms not less than 2".
 - In beams, girders and columns not exposed to the ground or earth that has been compacted and re-excavated for footings.
- Construction joints not indicated on the plans shall be so made and located as to at least not to impair the strength of the structure. Where a joint is to be made, the surface of the concrete shall be thoroughly cleaned and all laitance removed.
- Bottom of footing excavation shall be kept clear of slag and debris. Footing excavation shall also be kept moist and free of standing water before placement of concrete. See soils report for recommendations for pouring when water is present.

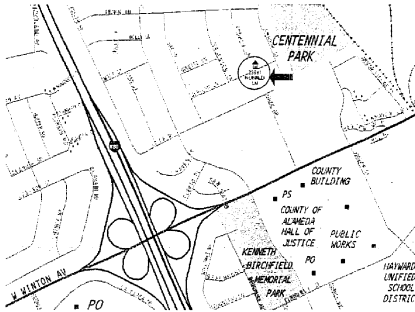
FRAMING

- All framing shall conform to the requirements of the 2001 California Building Code.
- Nailing shall be per UBC table 23 II B-1. All nails and hardware exposed to weather shall be galvanized. Nails shall be common wire nails U.S.A.
- All bolts for wood connections shall conform to ASTM-A307 with heavy hex heads. Molable iron washers shall be used at all places where the bolt head or nut would otherwise bring contact with the wood surface. Bolt holes in wood members shall not be drilled more than 1/8" inch larger than the bolt diameter.
- All wood members in contact with concrete or masonry foundation surfaces shall be Douglas Fir pressure treated with a preservative, all wood permanently exposed to weather shall be pressure treated.
- Faste shall be continuous from beam or header to floor or sill below.
- Provide at least a double stud at all bearing points under beams.
- Maximum allowable notch is 7/8" in 2x3 studs, 1-3/8" on 2x4 studs and at least 5/8" clear to the edge of the stud.
- Provide AS5 anchor from rafter to top plate @ 16" o.c. unless otherwise shown on shear wall schedule.
- Unless otherwise noted stagger all plywood joints in floor on roof sheathing. Nailing shall be 10d at 8" supported edges and 10" field; nail floor diaphragm perimeter with 10d at 8" o.c. and 10" o.c. field. Nailing shown in shear wall schedule refers to edge and boundary nailing. Edge nailing also refers to panel boundary for continuous panel joints.
- Vertical plywood sheathing shall be blocked at edges and shall be extended from top plate to sill of wall. Where possible, vertical sheathing on floor joists or blocking bearing 3/8" ggs for shrinkage if required on first floor walls. Minimum nailing is @ 8" edges and 10" field.
- Minimum gypsum board nailing is 5d Pinknead nails (6d for 5/8" boards) at 7" o.c. edges on field.
- Holdowns are attached to 4x studs at the ends of shear walls and extend to either 4x studs or double stud framing below. Nail all double studs at holdowns with 16d nails at 4x.
- All beams shall be connected to the supporting post with Simpson CC connector or equal.
- Wood posts bearing on concrete shall be secured directly to the concrete with post anchors fully nailed (i.e. Simpson CB for main members and Simpson PB for secondary members. All posts with a wall that are carry beams above shall be secured to the foundation with Simpson Column base CB.
- All plywood shall be D.F.P.A. grade marked. Plywood subject to moisture during construction shall have exterior grade glue. Plywood subject to moisture after construction shall be exterior grade plywood.

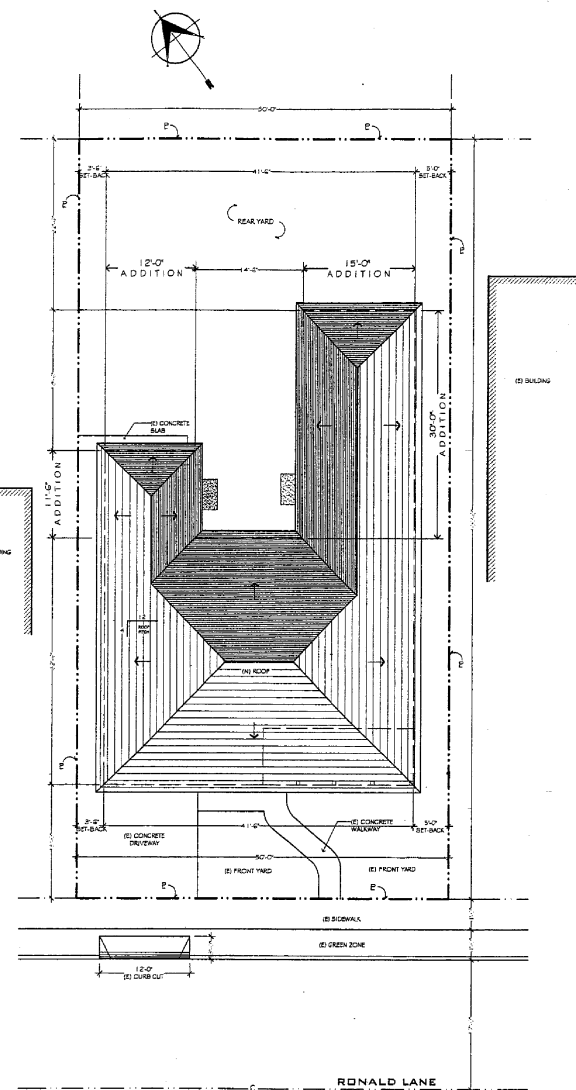
WOODS

- Unless otherwise noted framing lumber shall be grade as follows:
 - Framing lumber (rafters, joists, purlins, etc.) DF No.2
 - Beams and headers DF No.1
 - Sluces: Sued grade DF No.2 or better
 - Foundation sills: Pressure-treated (OF or Redwood)
 - Exposed decking: California Redwood No.1
- All plywood shall be CDX U.S.N. Minimum thickness shall be 5/8" on roof 3/4" 1 & 2 on floors and 3/8" on walls where noted. Use panel clips on unsupported edges of roofs. APA rated, 5 Plywood

APN:		
SITE ADDRESS	23681 RONALD LANE, HAYWARD, CALIFORNIA	
LOT SIZE	5,000.00 SQ. FT.	R-1
ZONING		
USE	SINGLE FAMILY DWELLING	
(E) GARAGE AREA	210.00 SQ. FT.	
(E) BUILDING AREA	987.95 SQ. FT.	
(N) ADDITION AREA	461.50 SQ. FT.	
(N) TOTAL AREA	1,449.95 SQ. FT.	



LOCATION MAP
NON-SCALE



SITE PLAN

SCALE: 1/8" = 1'-0"



DESIGN BY:
RICHARD M. CAMPONEJO

REMARKS:
REMODELING
RESIDENCE

OWNER:
MR. MANUEL GARCIA
23681 RONALD LANE
HAYWARD, CALIFORNIA
Ph: (510) 732 - 7654

SHEET NAME:
SITE PLAN

REVISIONS	BY

CAD DRAWN BY:
JAMIE ROMERO
CHECKED BY: R M C

SHEET No:
1



ROMOCO
DESIGNERS GROUP
2300 JUNIPERO SERRA BOULEVARD
DAILY CITY, CALIFORNIA 94015
PHONE: (650) 755-4017 FAX: (650) 755-4385
E-MAIL: ROMOCO@AOL.COM

DESIGN BY:
RICHARD M. CAMPUENJO

REMARKS:
REMODELING
RESIDENCE

OWNER:

MR. MANUEL GARCIA
23681 RONALD LANE
HAYWARD, CALIFORNIA
PH: (510) 732-7634

SHEET NAME:

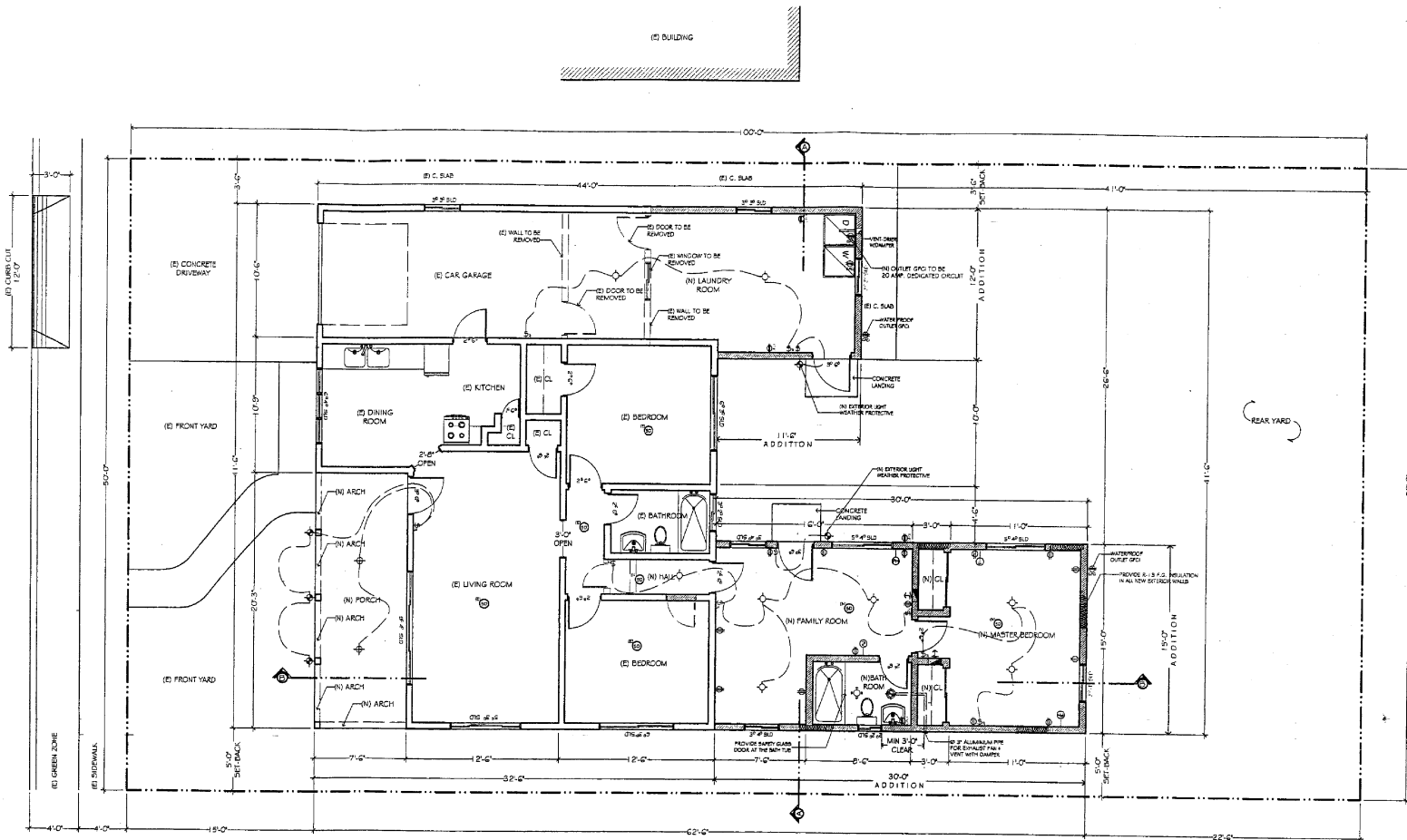
FLOOR PLAN

REVISIONS	BY

CAD DRAWN BY:
JAIME ROMERO
CHECKED BY: R. M. C.

SHEET No:

2



ELECTRICAL SYMBOLS	
⬤	Light
⬤	Exterior Light
⬤	Pin & Fluorescent Light 75 CFM min. (Discharge to outside (A.C. lumens light))
⬤	Switch Single
⬤	3 Way Switch
⬤	New Smoke Detector / 200v. not wired and battery back up.
⬤	Outlet Double
⬤	Outlet Double GFCI
⬤	Phone Jack
⬤	Television Cable
⬤	Recessed Light
⬤	Intercommunicator
⬤	Door bell & speaker
⬤	Exit lamp with 4-40 amps, fluorescent
⬤	Spot light double ext. exposure
⬤	Wall Light
⬤	3 Way Switch with dimmer
⬤	Dimmer ceiling / wall fan.

HVAC SYMBOLS	
⬤	Wall Register Grill
⬤	Ceiling Register Grill
⬤	Furnace Location
⬤	BTU
Notes:	
All ducts to be # 26 GA. galvanized pipes.	
Use Fire Dampers when going through Fire Rated Walls.	
Use Fire Rated caulking. Around pipes getting through Fire Rated walls to seal any Gap.	
PLUMBING NOTES	
SATURATION REQUIREMENTS:	
Shower: use floor glass pre-drill shower stall cutouts. Cover with ceramic tile 7" x 7" above drain inlet.	
Shower head maximum 2.5 GPM flow FM.	
Toilet: maximum 1.6 GPM per flush.	
The shower/tub mixing valve must be a temperature and pressure balancing valve.	
No plastic pipe allowed in water supply or sewer lines, use copper 4 cast-iron pipes respectively.	

NOTE:

- "Bedroom windows for emergency escape and rescue shall have a finished sill height of not be more than 44" above the floor"
- "NFRG temporary labeling on new windows shall not be removed until inspected by the enforcement Agency"
- "All new windows to be vinyl frame and double glass insulated with a minimum U-factor of 0.35 fenestration value, type skirting with 1/4" rainproof ovm.

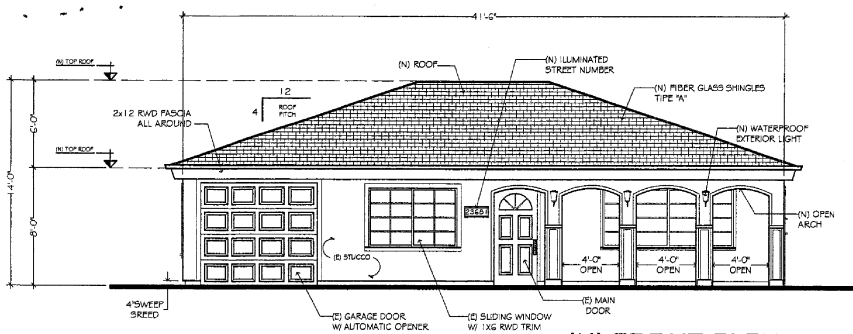
LEGEND

- (E) WALL TO REMAIN
- (N) WALLS
- (C) WALLS TO BE REMOVED



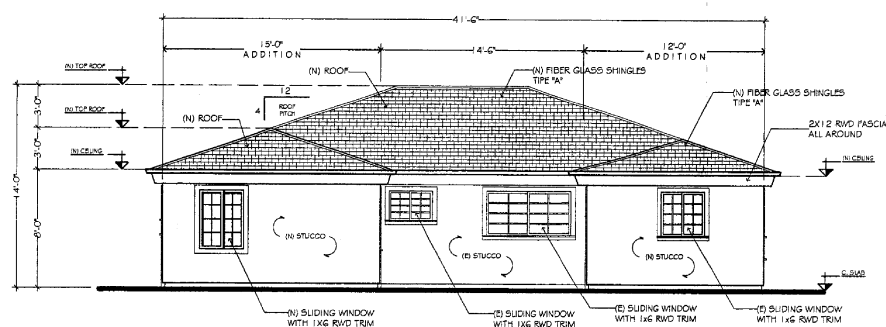
2380 JUNIPERO SERRA BOULEVARD
DALY CITY CALIFORNIA 94015
PHONE: (650) 755-4217 FAX: (650) 755-4385
E-MAIL: ROMOCO@AOL.COM

DESIGN BY:
RICHARD M. CAMPONUEVO



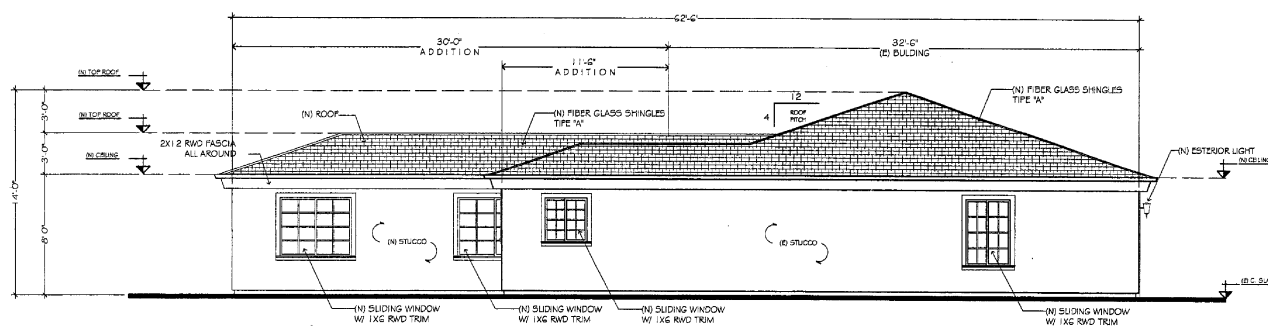
(N) FRONT ELEVATION

SCALE: 1/4" = 1'-0"



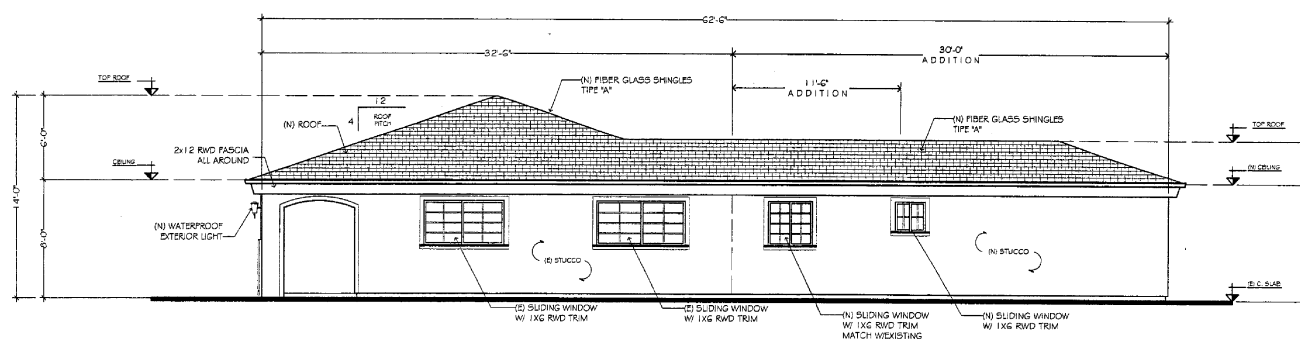
(N) REAR ELEVATION

SCALE: $1/4" = 1'-0"$



(N) LEFT ELEVATION

SCALE: $1/4" = 1'-0"$



(N) RIGHT ELEVATION

SCALE: 1/4" = 1' 0"

REMARKS:

REMODELING
RESIDENCE

OWNER:

MR. MANUEL GARCIA

23681 RONALD LANE
HAYWARD, CALIFORNIA
Ph: (510) 732-7654

SHEET NAME:

ELEVATIONS

[illegible]

CAD DRAWN BY:
JAIME ROMERO
CHECKED BY: R M C

SHEET No:

2.9